

NRCS SOILS LEGEND:

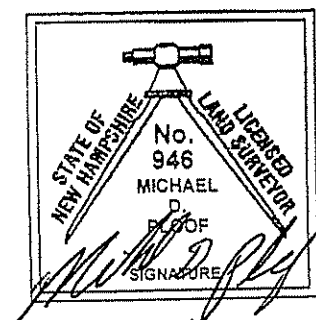
SOURCE: USDA NRCS WEB SOIL SURVEY

- SOIL BOUNDARY
- 15 SEARSPORT MUCK
- 22C COLTON LOAMY SAND
8 TO 15% SLOPES
- 22E COLTON LOAMY SAND
15 TO 50% SLOPES
- 36C ADAMS LOAMY SAND
8 TO 15% SLOPES
- 214A NAUMBURG FINE SANDY LOAM
0 TO 3% SLOPES

LINE	BEARING	DISTANCE
L1	S82°34'10"E	53.46'
L2	N82°29'12"E	85.03'
L3	N81°58'13"E	109.62'
L4	N81°58'13"E	23.54'
L5	N84°43'21"E	146.06'
L6	N86°28'51"E	83.46'
L7	N86°28'51"E	87.00'
L8	N85°33'31"E	72.03'
L9	N86°24'03"E	117.06'
L10	N85°09'29"E	16.92'
L11	N85°09'29"E	253.95'
L12	N85°09'29"E	123.95'
L13	N85°42'38"E	96.86'
L14	N87°36'12"E	91.80'
L15	N84°08'19"E	85.43'
L16	N82°52'56"E	170.98'

CERTIFICATION:

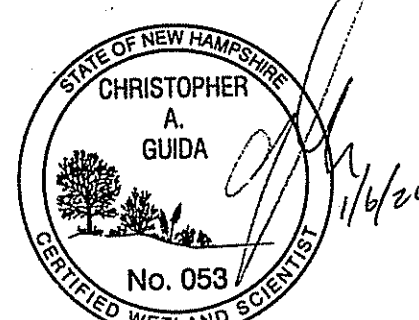
"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND PER THE PRECISION AND ACCURACY STANDARDS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LAN 503.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."



11/6/2020

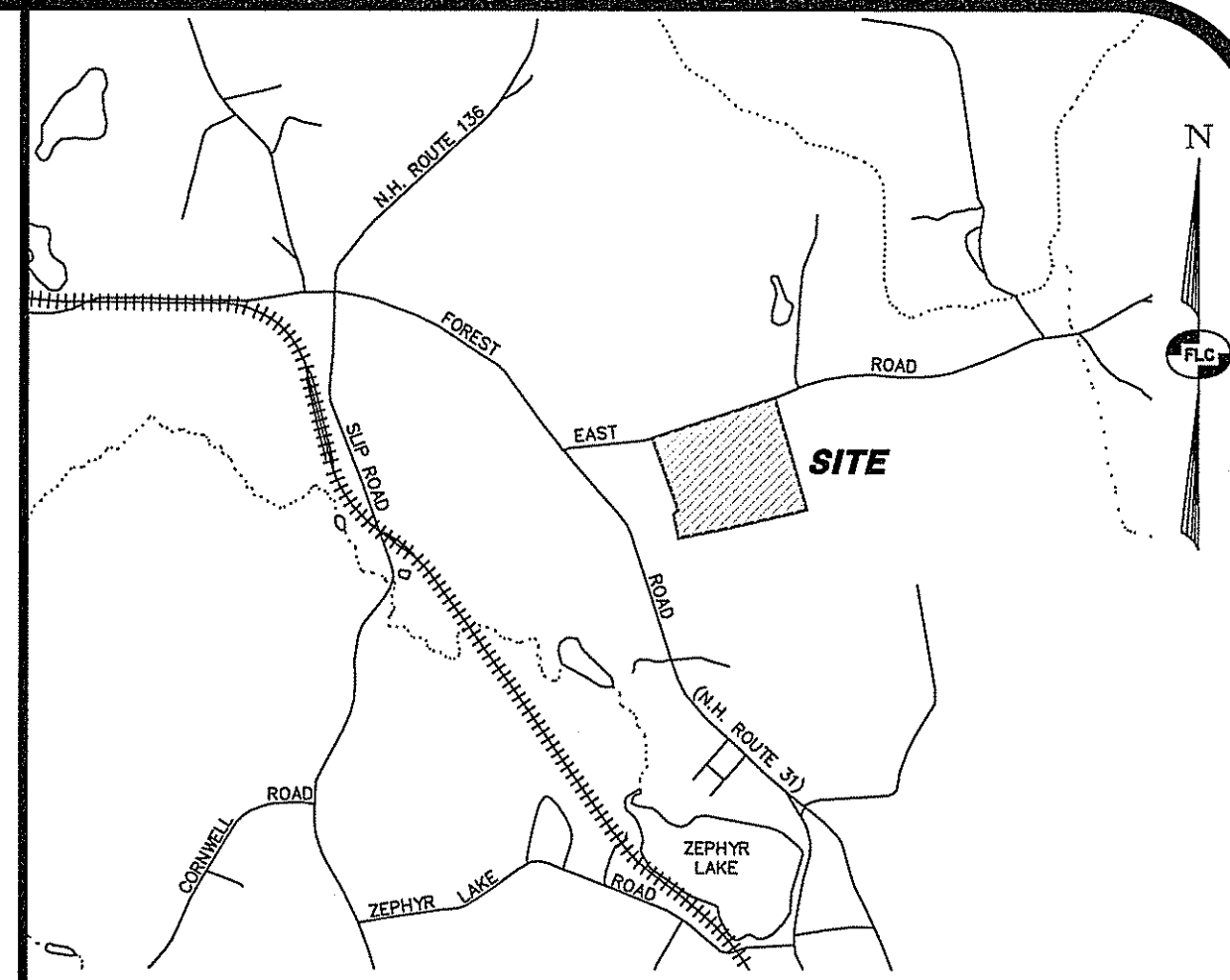
CERTIFICATION:

JURISDICTIONAL WETLANDS SHOWN HEREON WERE DEVELOPED FROM REFERENCE PLAN #1. THE REFERENCE WETLAND DELINEATION WAS REVIEWED AND CONFIRMED BY CHRISTOPHER A. GUIDA, C.W.S. IN DECEMBER, 2019.



LEGEND:

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- WETLANDS BUFFER LINE
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- CULVERT
- OVERHEAD UTILITY LINE
- TAX MAP & LOT NUMBER
- IRON PIN FOUND
- IRON PIPE FOUND
- DRILL HOLE FOUND
- UTILITY POLE & GUY
- PROPOSED WELL
- PROPOSED DRIVEWAY



LOCUS
SCALE: 1"=2,000'

NOTES:

- THE OWNER OF RECORD FOR TAX MAP R7 LOT 2 IS BRETT W. VAUGHN, TRUSTEE OF THE BRETT W. VAUGHN REVOCABLE TRUST - 123 WILSON HILL ROAD, MERRIMACK, NH 03054. DEED REFERENCE TO THE PARCEL IS VOL.9154-PG.1292 DATED MARCH 18, 2019.
 - THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE EXISTING TAX MAP R7 LOT 2 INTO 6 BUILDABLE LOTS, INCLUDING ONE BACK LOT.
 - THE TOTAL AREA OF EXISTING TAX MAP R7 LOT 2 IS 37.5± ACRES PER REFERENCE PLAN #1.
 - CURRENT ZONING IS BOTH GENERAL RESIDENCE AND RURAL/AGRICULTURAL DISTRICTS.
 - GENERAL RESIDENCE DISTRICT (400 FT. FROM EAST ROAD):
MIN. LOT SIZE: 2 ACRES
MIN. FRONTAGE: 250'
MIN. SETBACKS: FRONT 100', SIDE 50', REAR 50'
 - RURAL/AGRICULTURAL DISTRICT:
MIN. LOT SIZE: 4 ACRES
MIN. FRONTAGE: 350'
MIN. SETBACKS: FRONT 100', SIDE 50', REAR 50'
 - BACKLOTS:
MIN. LOT SIZE: 10 ACRES
MIN. FRONTAGE: 100'
MIN. SETBACKS: 3X THE DISTRICT REQUIREMENT - FRONT 300', SIDE 150', REAR 150'
- PORTIONS OF THE SITE ALSO LIE WITHIN THE WETLAND CONSERVATION OVERLAY DISTRICT. A 25' BUFFER IS REQUIRED FROM ALL DELINEATED WETLANDS. WETLANDS MAY NOT BE USED TO SATISFY MINIMUM LOT SIZE REQUIREMENTS EXCEPT IN THE RURAL/AGRICULTURE DISTRICT WHERE WETLANDS MAY BE USED TO SATISFY UP TO TWO (2) ACRES OF THE LOT SIZE REQUIREMENT. IN ANY DISTRICT, WETLANDS MAY BE USED TO SATISFY ALL BUT 50 FT., PLUS THE WIDTH REQUIRED FOR DRIVEWAY ACCESS, OF THE FRONTAGE REQUIREMENT.
- THE BOUNDARY INFORMATION SHOWN IS BASED ENTIRELY ON REFERENCE PLAN #1 CITED HEREON AND IS NOT THE RESULT OF A BOUNDARY SURVEY BY THIS OFFICE.
 - THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN WERE TAKEN FROM REFERENCE PLAN CITED HEREON TOGETHER WITH A FIELD SURVEY COMPLETED BY THIS OFFICE DURING THE MONTH OF SEPTEMBER, 2019.
 - THE SUBJECT PARCEL IS NOT IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, TOWN OF GREENFIELD, NEW HAMPSHIRE, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FIRM COMMUNITY MAP NO. 3301100303D, DATED: SEPTEMBER 25, 2009.
 - LOT R7-2 IS SUBJECT TO RIGHTS CONVEYED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY IN H.C.R.D. VOL.1690 PG.66 DATED APRIL 18, 1962 AND WELL RIGHTS CONVEYED TO HUGH C. PARSONS AND GRACE T. PARSONS IN H.C.R.D. VOL.1740 PG.83 DATED JULY 22, 1963.
 - HORIZONTAL ORIENTATION & VERTICAL DATUM ARE BASED ON REFERENCE PLAN #1.
 - WETLANDS SHOWN HEREON WERE DEVELOPED FROM REFERENCE PLAN #1 AND FIELD VERIFIED BY THIS OFFICE DURING THE MONTH OF DECEMBER, 2019.

REV.	DATE	DESCRIPTION	C/O	DR	CK

SUBDIVISION PLAN
TAX MAP R7 LOT 2
(EAST ROAD)
GREENFIELD, NEW HAMPSHIRE

PREPARED FOR & LAND OF:
BRETT W. VAUGHN REVOCABLE TRUST
 123 WILSON HILL ROAD MERRIMACK, NH 03054

SCALE: 1" = 100' DECEMBER 12, 2019

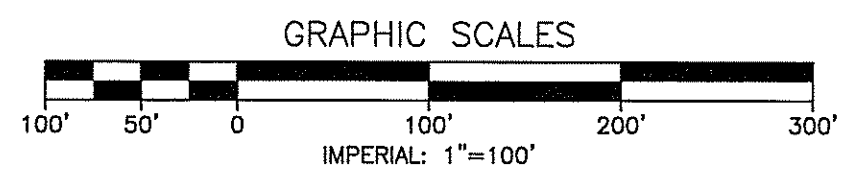
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

REVIEWED AND APPROVED
 IN ACCORDANCE WITH THE
 REQUIREMENTS OF THE
 NH DEPT OF ENVIRONMENTAL SERVICES
 WATER DIVISION

[Signature]
 Date: 2/12/2020
 #eSA2020021201



ABUTTERS:

- TAX MAP R7 LOT 1
ROBERT G. WALLING
KATHRYN R. SABOL
608 FOREST ROAD
GREENFIELD, NH 03047
VOL.8776 PG.840 7/31/2015
(608 FOREST ROAD)
- TAX MAP R7 LOT 1-1
LORDEN D. & WENDY MARIE WHITE
P.O. BOX 194
GREENFIELD, NH 03047
VOL.6155 PG.943 9/9/1999
(614 FOREST ROAD)
- TAX MAP R7 LOT 3
ERIC WJ FOURNIER
NIZGHIMMAMA EMELYNE
598 FOREST ROAD
GREENFIELD, NH 03047
VOL.9148 PG.1437 2/26/2019
(598 FOREST ROAD)
- TAX MAP R7 LOT 5
SARA R. TIMMONS, TRUSTEE
SARA R. TIMMONS REV. TRUST
135 WOODLAND HILL ROAD
GREENFIELD, NH 03047
VOL.8129 PG.820 8/27/2009
(135 WOODLAND HILL ROAD)
- TAX MAP R5 LOT 5-1
TAX MAP R5 LOT 34-4
FREDERICK J. O'CONNOR III
DYNESSE E. O'CONNOR
105 EAST ROAD
GREENFIELD, NH 03047
VOL.9054 PG.278 3/5/2018
VOL.8874 PG.529 7/11/2016
(EAST ROAD & 105 EAST ROAD)
- TAX MAP R5 LOT 36
EAST ROAD REAL ESTATE TRUST
JAMES TRENZ, TRUSTEE
P.O. BOX 202
GREENFIELD, NH 03047
VOL.6667 PG.2948 7/15/2002
(EAST ROAD)
- TAX MAP V5 LOT 12
ARICK KEOPHANAPHAY
CHELSEA L. BLANCHETTE
41 EAST ROAD
GREENFIELD, NH 03047
VOL.8811 PG.2548 12/1/2015
(41 EAST ROAD)
- TAX MAP V5 LOT 16
JOHN R. & BRENDA GOLLIHUE
38 EAST ROAD
GREENFIELD, NH 03047
VOL.8772 PG.1061 7/20/2015
(38 EAST ROAD)

REFERENCE PLANS:

- "SUBDIVISION PLAN - LANDS OF - JANICE L. BURNS - CARLYLE G. BURLAND - DEAN A. BURLAND - MAP R5 LOT 35 - MAP R7 LOT 2 - MAP V5 - LOT 19 - EAST ROAD - FOREST ROAD - (N.H. ROUTE 31) - GREENFIELD - HILLSBOROUGH COUNTY - NEW HAMPSHIRE" SCALE: 1"=100', DATED: UNKNOWN, BY TODD LAND USE CONSULTANTS, LLC.
- "PLAN OF LAND - GREENFIELD, N.H.", SCALE: 1"=20', DATED: DECEMBER, 1974 BY THOMAS R. STEVENS AND RECORDED AS PLAN #8795 IN THE H.C.R.D.
- "PROPERTY OF - EDWARD L. & ANN M. CONLEY - GREENFIELD NEW HAMPSHIRE", SCALE: 1"=50', DATED: JUNE 5, 1978 BY WILLIAM C. MACADAM & ASSOCIATES AND RECORDED AS PLAN #12241 IN THE H.C.R.D.
- "PART OF PROPERTY OF - HORST O. SIEBEN - GREENFIELD, NEW HAMPSHIRE", SCALE: 1"=100', DATED: SEPTEMBER 30, 1980 BY WILLIAM MacADAM & ASSOCIATES, INC. AND RECORDED AS PLAN #13533 IN THE H.C.R.D.
- "PLAN OF LAND, EAST ROAD, FOR JEFFRY A. TIMMONS AND SARA R. TIMMONS - RESERVED FROM CONSERVATION EASEMENT, EAST ROAD, GREENFIELD, N.H.", SCALE: 1"=100', DATED: OCTOBER 4, 2001 AND REVISED THROUGH DECEMBER 13, 2001 BY WILLIAM A. BEAN, JR. AND RECORDED AS PLAN #31519 IN THE H.C.R.D.
- "SURVEY OF ELVA E. BOWES PROPERTY - FOREST ROAD GREENFIELD, NEW HAMPSHIRE", SCALE: 1"=60', DATED: FEBRUARY, 1979 AND REVISED THROUGH APRIL 18, 1979 BY WILLIAM A. BEAN, JR. AND RECORDED AS PLAN #12195 IN THE H.C.R.D.
- "SUBDIVISION PLAN OF LAND - JOHN E. PARKER III - GREENFIELD, N.H.", SCALE: 1"=200', DATED: AUGUST 18, 1991 AND REVISED THROUGH OCTOBER 17, 1991 BY HARRY R. MURRAY & FAMILY LAND SURVEYORS AND RECORDED AS PLAN #25509 IN THE H.C.R.D.